



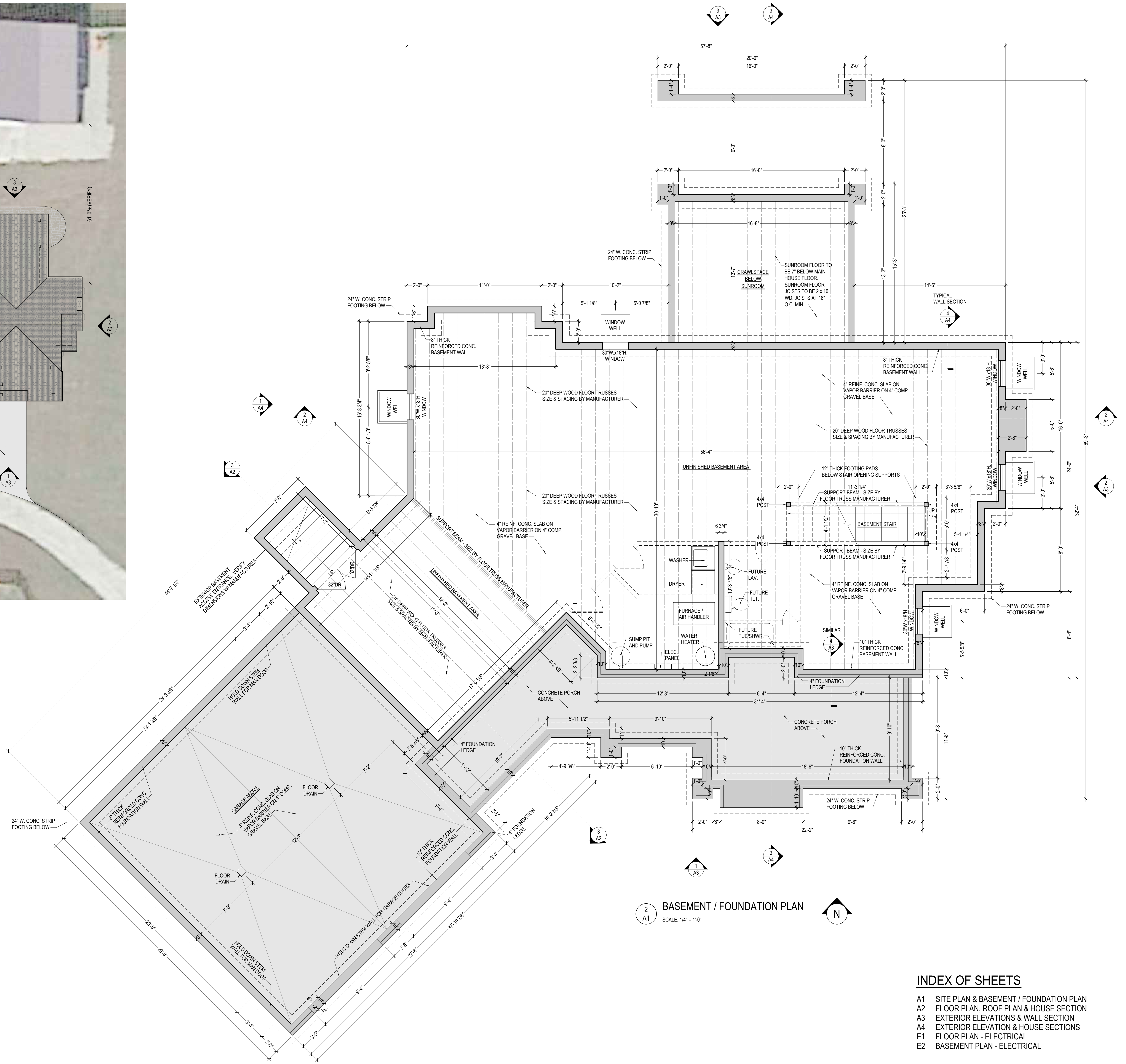
1 SITE PLAN  
SCALE: 1/16" = 1'-0"

**CONCRETE NOTES:**

- THE CONTRACTOR SHALL VERIFY THE ADEQUACY OF ALL BEARING MATERIAL BEFORE PLACING FOOTINGS AND SHALL PLACE ALL FOUNDATIONS ON UNDISTURBED SOIL OF ADEQUATE CAPACITY.
- FOOTINGS MAY BE POURED INTO AN EARTH-FORMED TRENCH IF SOIL CONDITIONS PERMIT.
- WHERE FOUNDATION WALLS ARE TO HAVE EARTH PLACED ON EACH SIDE, PLACE FILL SIMULTANEOUSLY SO AS TO MAINTAIN A COMMON ELEVATION ON EACH SIDE OF THE WALL. Welding electrodes shall be E70XX Series.
- VERIFY THE USE AND EXTENT OF PERIMETER INSULATION WITH THE ARCHITECTURAL DRAWINGS PRIOR TO THE INSTALLATION OF FOUNDATIONS. INSTALL PERIMETER INSULATION AS REQUIRED.
- ALL CONCRETE SHALL BE 4000 PSI COMPRESSIVE STRENGTH AT 28 DAYS. ALL CONCRETE EXPOSED TO FREEZING WEATHER SHALL BE AIR-ENTRAINED, 6% ± 1%. ALL CONCRETE WORK SHALL BE AS PER ACI 318-05, BUILDING CODE FOR REINFORCED CONCRETE AND THE CRSI MANUAL OF STANDARD PRACTICE.
- ALL REINFORCEMENT SHALL BE A615, GRADE 60. WELDED WIRE FABRIC SHALL BE A185. BAR CLEARANCES SHALL BE AS FOLLOWS: FOOTINGS - 3" WALLS AND COLUMNS - 1 1/2", SLAB-ON-GRADE - MID-DEPTH.
- REINFORCEMENT SHALL BE LAPPED 24 BAR DIAMETER, 1'-6" MINIMUM, OR AS DETAILED. L-BARS 1'-6" x 1'-6" SHALL BE PROVIDED AT CORNERS TO MATCH THE HORIZONTAL REINFORCEMENT.
- FOOTING REINFORCEMENT SHALL BE SUPPORTED ON HIGH CHAIRS OR SAND PLATES. NO BRICKS OR REBAR PERMITTED. DOWELS SHALL BE TIED TO FOOTING MAT. DOWELS SHALL NOT BE FLOATED IN.
- BAR SUPPORTS AND ACCESSORIES SHALL BE IN ACCORDANCE WITH MANUAL OF STANDARD PRACTICES FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 318-05).
- INTERIOR SLAB CONCRETE SHALL BE AIR-ENTRAINED 3%.
- CONTRACTOR SHALL MAKE ALLOWANCE FOR DEAD LOAD DEFLECTION, SETTLEMENT OF FORMS, AND SHRINKAGE OF CONCRETE WHEN CONSTRUCTING OF CONCRETE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADEQUACY OF ALL FORMS, SHORING, BRACING, ETC. USED IN CONSTRUCTION OF CONCRETE WORK.
- INTERIOR CONCRETE SLAB LEVELNESS SHALL BE 1/8" IN 20'-0" UNLESS NOTED OTHERWISE.
- ALL FOOTINGS EXCAVATIONS SHALL BE FREE OF DEBRIS, STANDING WATER AND LOOSE SOIL PRIOR TO PLACEMENT OF CONCRETE.
- FOOTING CONCRETE SHALL NOT BE PLACED ON FROZEN SOIL.
- EXCAVATIONS THAT BECOME MUDDY AND SOFT DUE TO CONSTRUCTION ACTIVITY SHALL HAVE A LEAN CONCRETE MUD SLAB OR GRAVEL PLACED IN THE EXCAVATION TO PROVIDE ACCEPTABLE BEARING. MUD SLAB OR GRAVEL SHALL BE INSPECTED AND APPROVED BY A SOILS ENGINEER.
- CONTINUOUS WALL FOOTING REINFORCING SHALL BE PLACED CONTINUOUS THROUGH ISOLATED PIER FOOTINGS.

**GENERAL NOTES**

- STRUCTURAL STEEL**
- All structural steel rolled shapes shall be A992, minimum yield strength 50 ksi. Plates and angles shall be A36. Steel pipe shall be A501 or A53, Types E or S, grade B. Structural tubing shall be ASTM A500, grade B.
  - All steel work shall be in accordance with the AISC Specification for Structural Steel Buildings and the Code of Standard Practice. All welding shall be in accordance with AWS D1.1-94, the Structural Welding Code. Welding electrodes shall be E70XX Series.
  - Connections not shown shall be designed by the fabricator for the capacity of the member as shown in the AISC Manual. All field connections shall utilize 3/4 in. dia. A325 bolts in bearing type connections with threads included in the shear plane. Shop connections may be welded or bolted using 3/4 in. A325 bolts.
- FRAMING LUMBER**
- Load Bearing 2x studs shall be Premium Grade White Wood or equal with the following design values: Fb = 1850 psi, Fc = 1850 psi, E = 1,700,000 psi
- ELECTRICAL POWER & LIGHTING DESIGN TO BE DETERMINED BY ELECTRICAL CONTRACTOR**
- HEATING & COOLING SYSTEM TO BE DETERMINED BY HVAC CONTRACTOR**
- CONSULT WITH OWNER FOR FINAL MATERIAL, FINISH, CASEWORK & EQUIPMENT SELECTIONS
- 1603 - Design Loads in Accord with IBC 2009 Building Code  
 Roof Dead Load 20 psf  
 Live Load 20 psf  
 Floor Dead Load 20 psf  
 Live Load 40 psf
- Snow Load Information**  
 Ground Snow Load, Pg = 20 psf  
 Flat Roof Snow Load, Pf = 16 psf  
 Snow Exposure Factor, Ce = 1.0  
 Snow Load Importance Factor, I = 1.0  
 Thermal Factor, Ct = 1.1
- Wind Load Information**  
 Basic Wind Speed = 90 mph  
 Wind Importance Factor, Iw = 1.0  
 Wind Exposure C
- Internal Pressure Coefficient = +0.18, -0.18**  
 Component and cladding wind pressures in accord with IBC 2009.  
 Seismic Load Information  
 Seismic Importance Factor, Ie = 1.0  
 Mapped Spectral response Accelerations, Ss = 0.243 and S1 = 0.097.  
 Site Class D  
 Spectral Response Coefficients, SDS = 0.253 and SD1 = 0.154.  
 Seismic Design Category C.  
 Basic Seismic-force-resisting System - Light Framed Walls with Wood Structural Panels.  
 Design Base Shear = 13 kips.  
 Seismic Response Coefficient, Cs = 0.042.  
 Response Modification Factor, R = 6.5  
 Analysis Procedure - Equivalent Lateral Force Design Procedure.  
 1604 - Occupancy Category II.  
 1806 - Add foundation note after soil bearing capacity - Lateral Bearing Pressure = 100 psf. (assumed)
- APPLICABLE CODES:**  
 INTERNATIONAL BUILDING CODE - 2009  
 NATIONAL ELECTRIC CODE - CURRENT EDITION  
 PLUMBING CODE - CURRENT EDITION  
 INTERNATIONAL MECHANICAL CODE - CURRENT EDITION  
 NFPA LIFE SAFETY 101



2 BASEMENT / FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

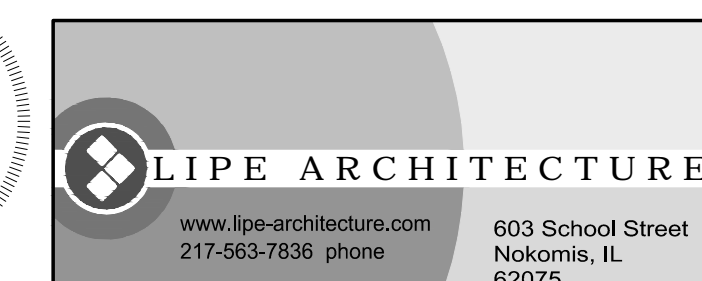
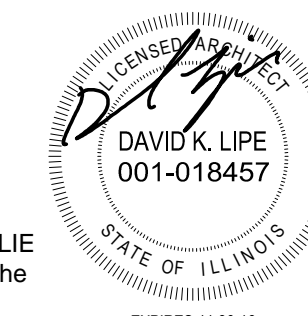
**INDEX OF SHEETS**

- A1 SITE PLAN & BASEMENT / FOUNDATION PLAN
- A2 FLOOR PLAN, ROOF PLAN & HOUSE SECTION
- A3 EXTERIOR ELEVATIONS & WALL SECTION
- A4 EXTERIOR ELEVATION & HOUSE SECTIONS
- E1 FLOOR PLAN - ELECTRICAL
- E2 BASEMENT PLAN - ELECTRICAL

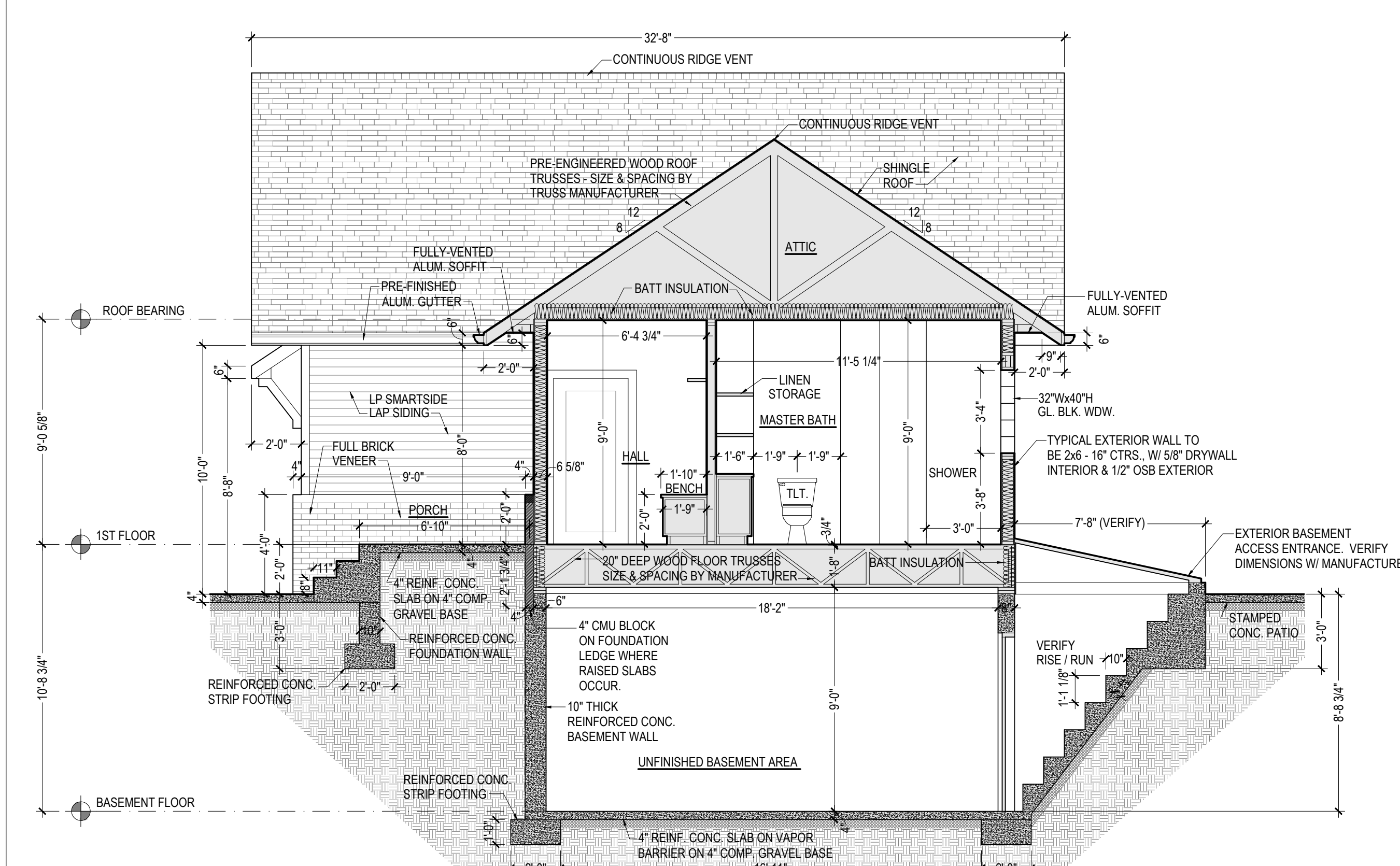
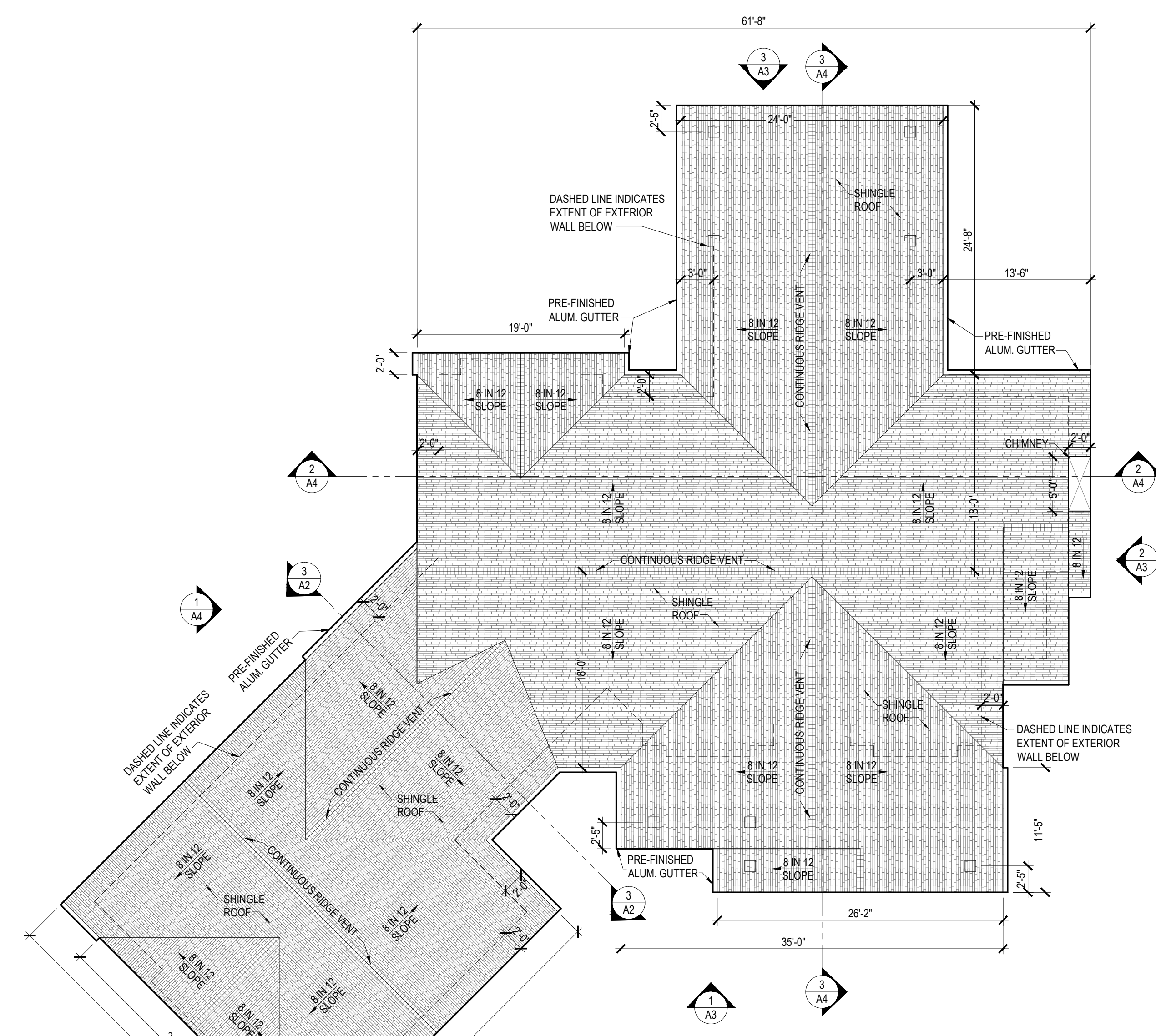
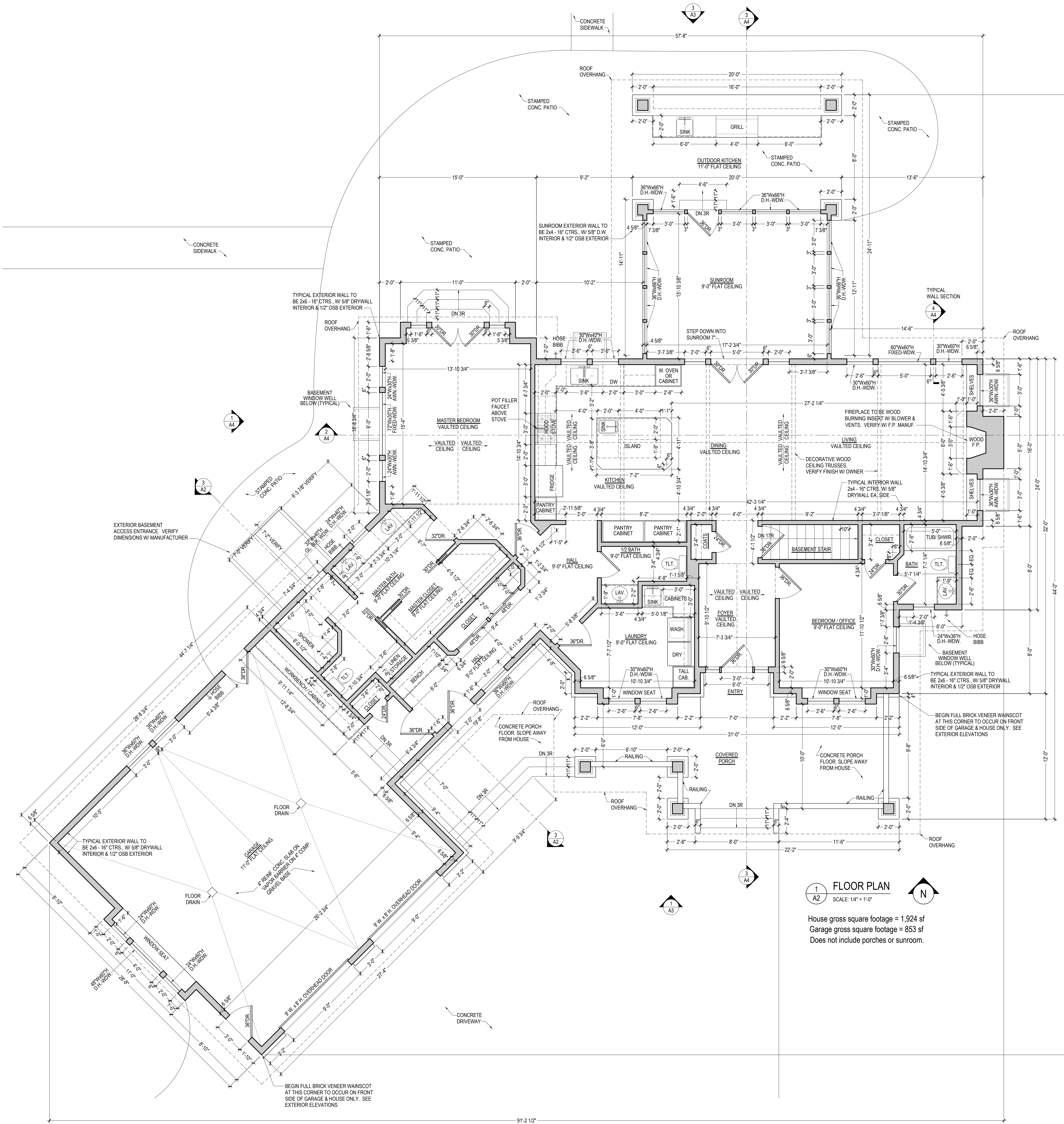
Revised drawings 02/20/17 to change the basement wall to 8" thick with no brick ledge everywhere except the front of the house, porch & garage where it will be a 10" wall with a 4" brick ledge. Also indicated the back side sunroom to have a crawlspace and the sunroom floor elevation will be 7" below the main floor elevation. Changed roof from metal panel to shingle.

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

Illinois law requires anyone digging, regardless of the depth of the project, to call JULIE at 1-800-892-0123. This notice must be at least 48 hours/two working days prior to the start of excavation and the project must begin within 14 calendar days from the call.

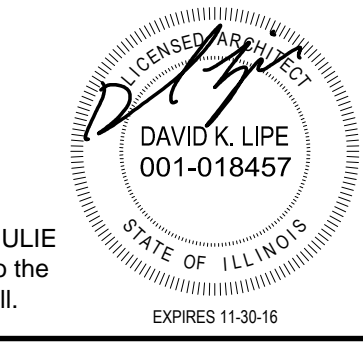


SITE PLAN & BASEMENT / FOUNDATION PLAN  
 PROJECT NO.: 1601  
 REVISION 02-20-17  
 DATE: 03-22-16  
 Wayne & Vickie Halfacre - New House  
 252 Duffs Lane, Hillsboro, IL 62049  
 A1



Revised drawings 02/20/17 to change the basement wall to 8" thick with no brick ledge everywhere except the front of the house, porch & garage where it will be a 10" wall with a 4" brick ledge. Also indicated the back side sunroom to have a crawlspace and the sunroom floor elevation will be 7" below the main floor elevation. Changed roof from metal panel to shingle.

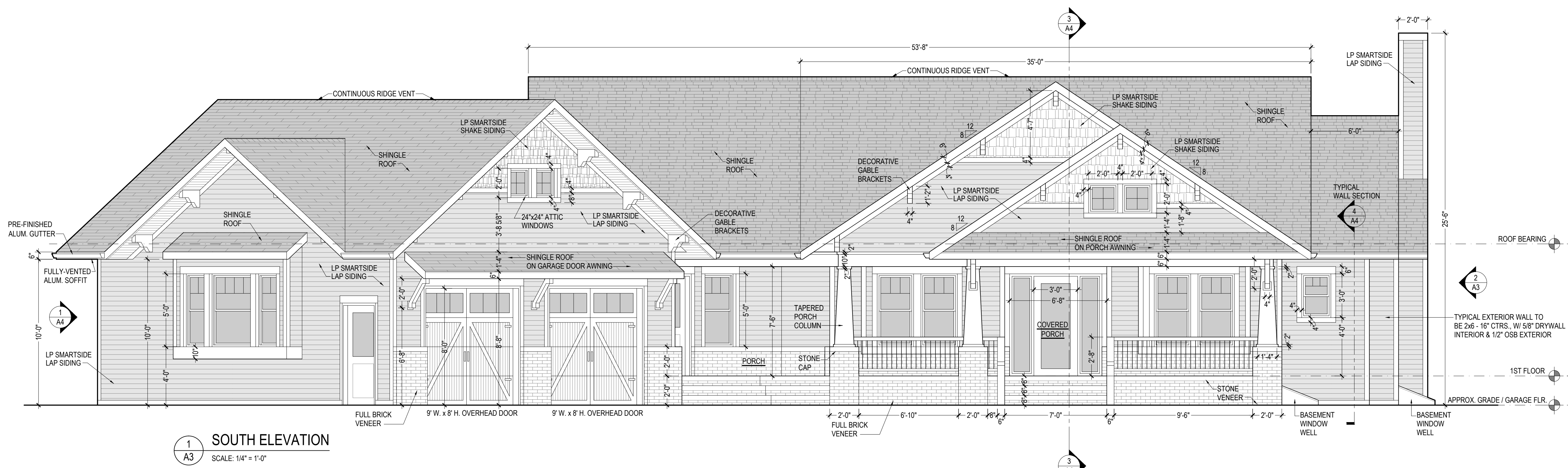
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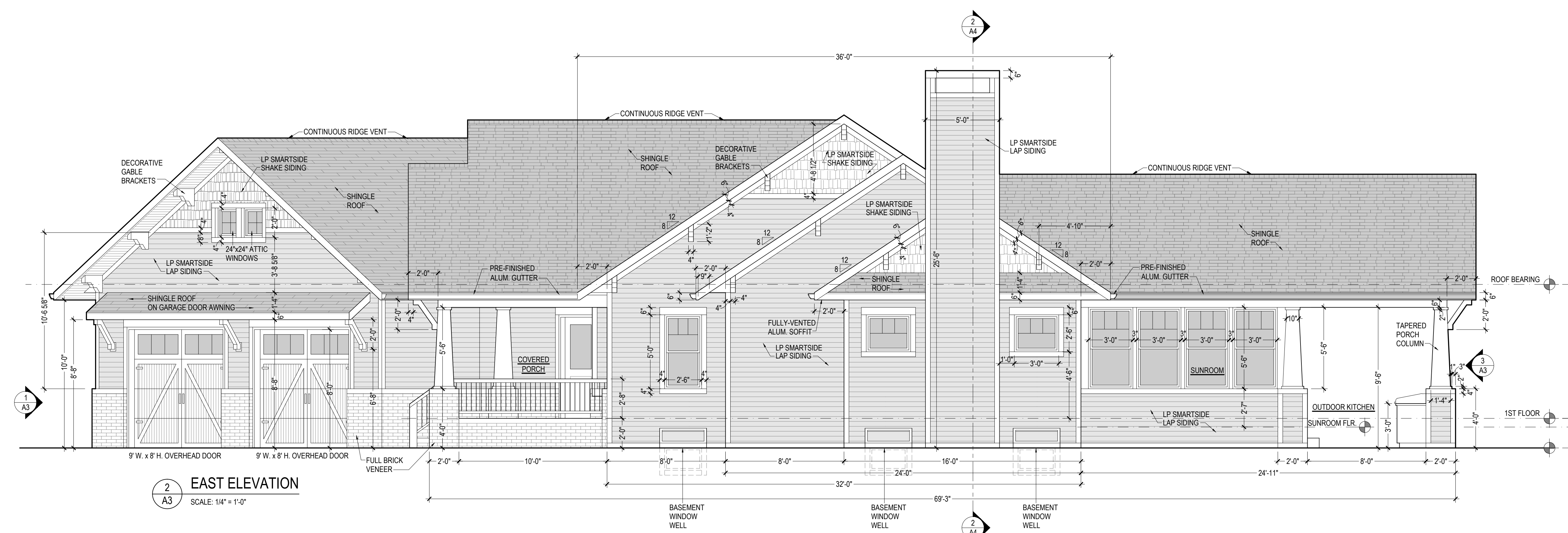
**LIPE ARCHITECTURE**  
www.lipe-architecture.com  
217-563-7836 phone  
603 School Street  
Nokomis, IL 62075

FLOOR PLAN, ROOF PLAN & HOUSE SECTION  
PROJECT NO.: 1601  
REVISED 02-20-17  
DATE: 03-22-16  
**Wayne & Vickie Halfacre - New House**  
252 Duffs Lane, Hillsboro, IL 62049  
**A2**

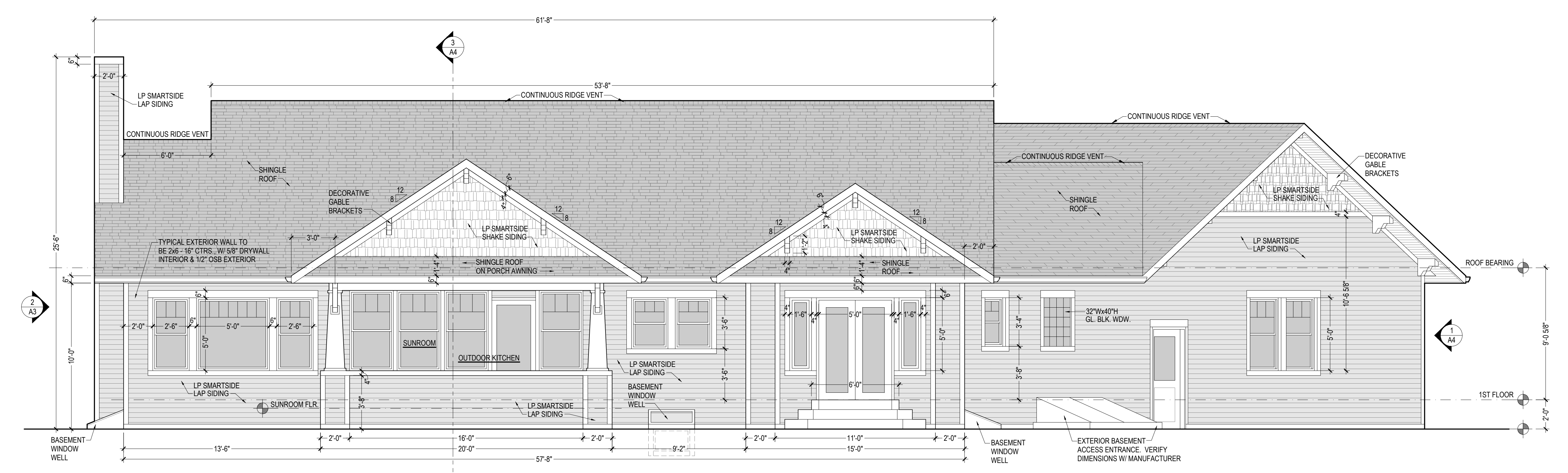
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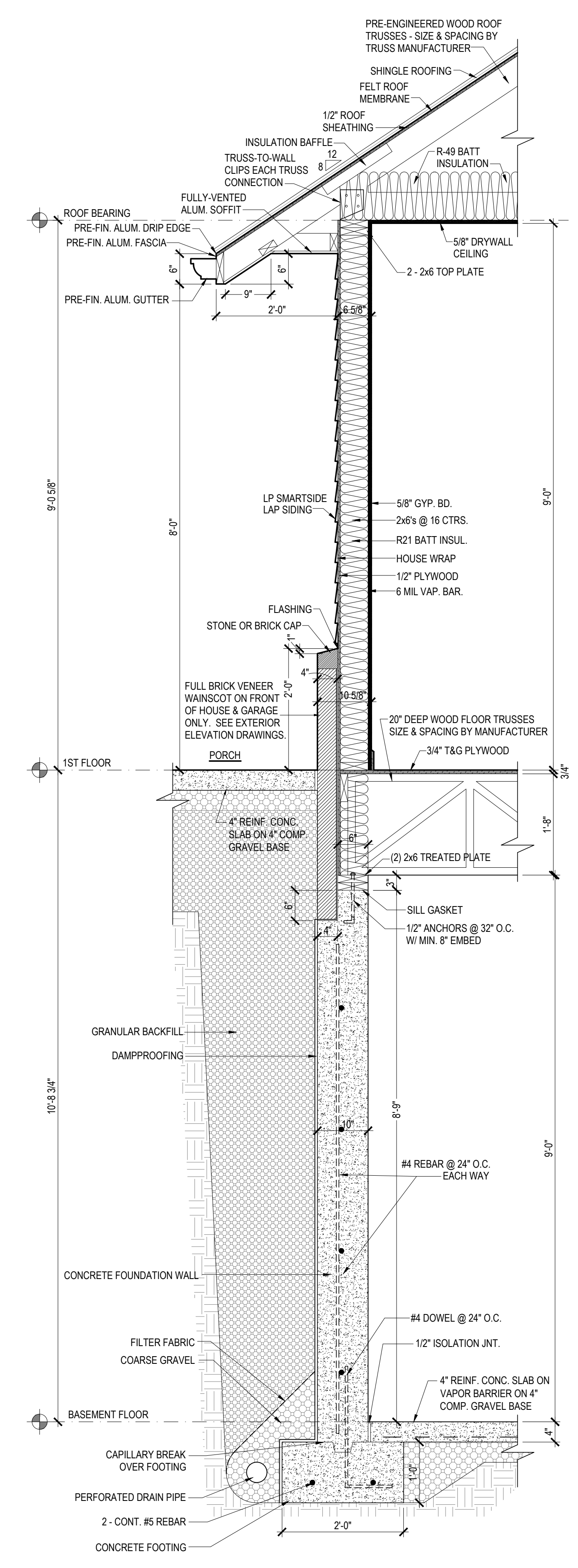
1 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



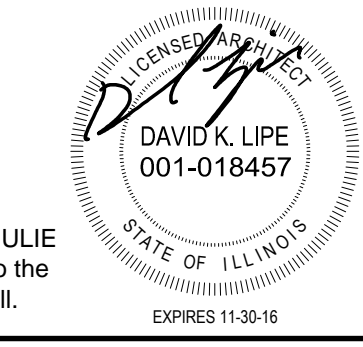
3 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



4 WALL SECTION (WITH BRICK LEDGE)  
SCALE: 3/4" = 1'-0"

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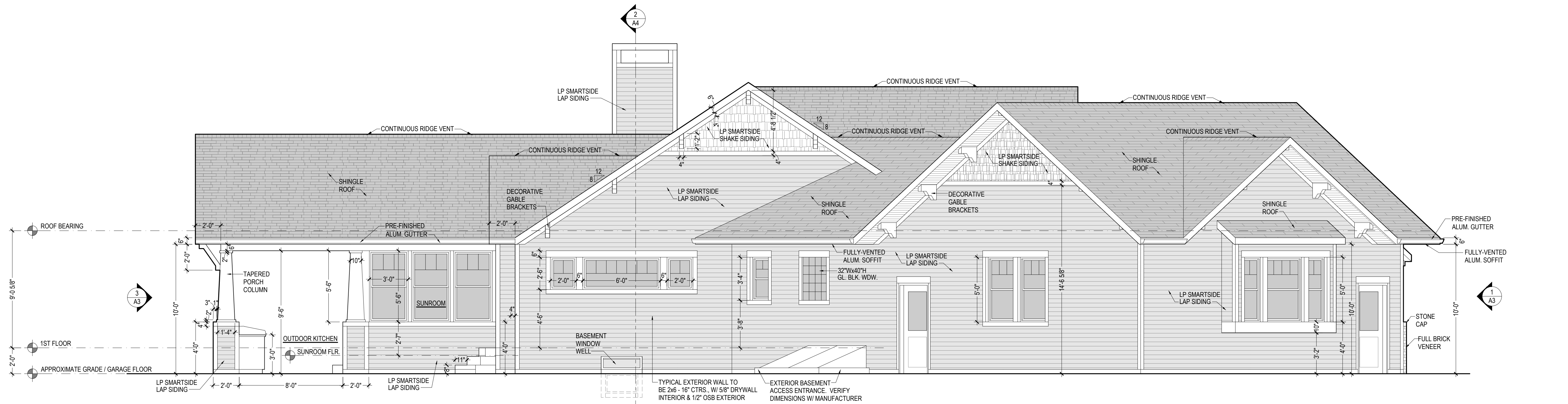
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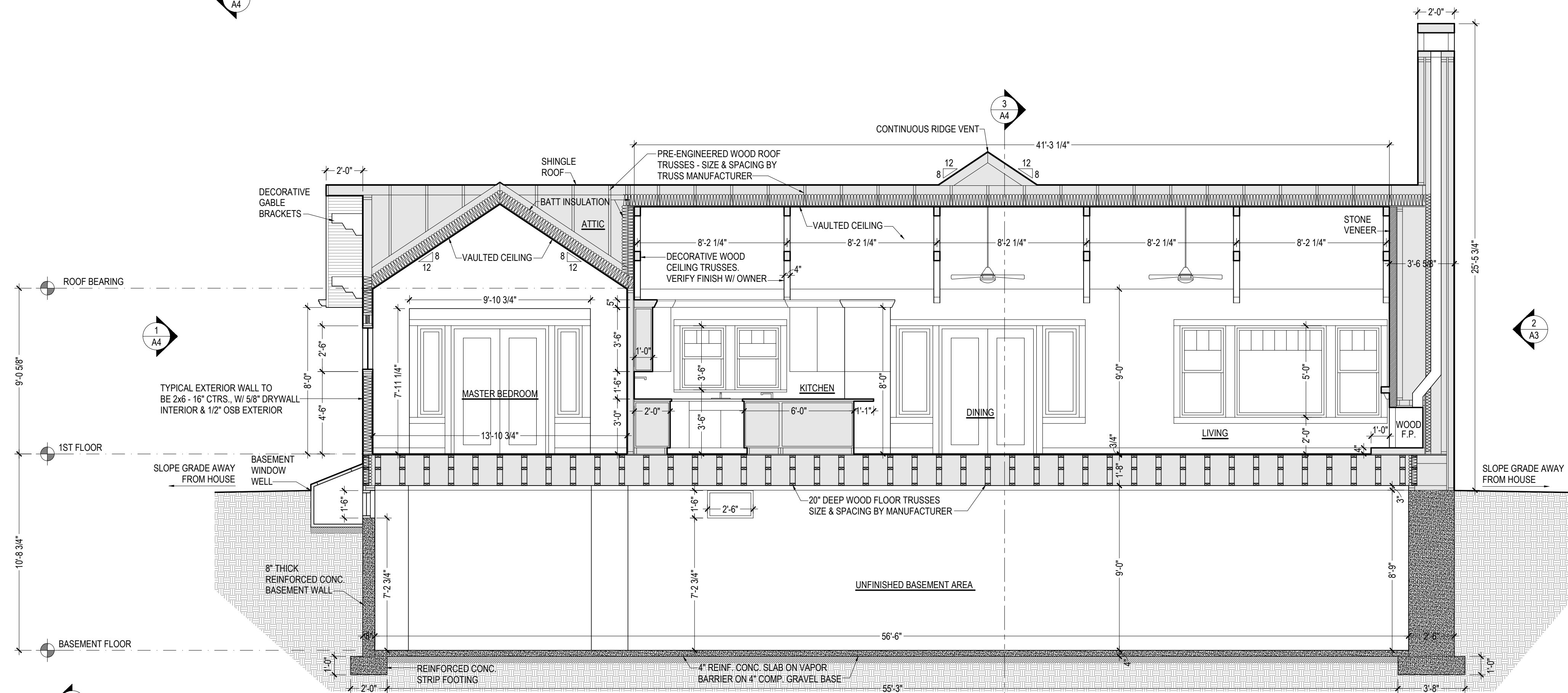
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62075

EXTERIOR ELEVATIONS & WALL SECTION  
PROJ. NO.: 1601  
REVISED 02-20-17  
DATE: 03-22-16  
**Wayne & Vickie Halfacre - New House**  
252 Duffs Lane, Hillsboro, IL 62049

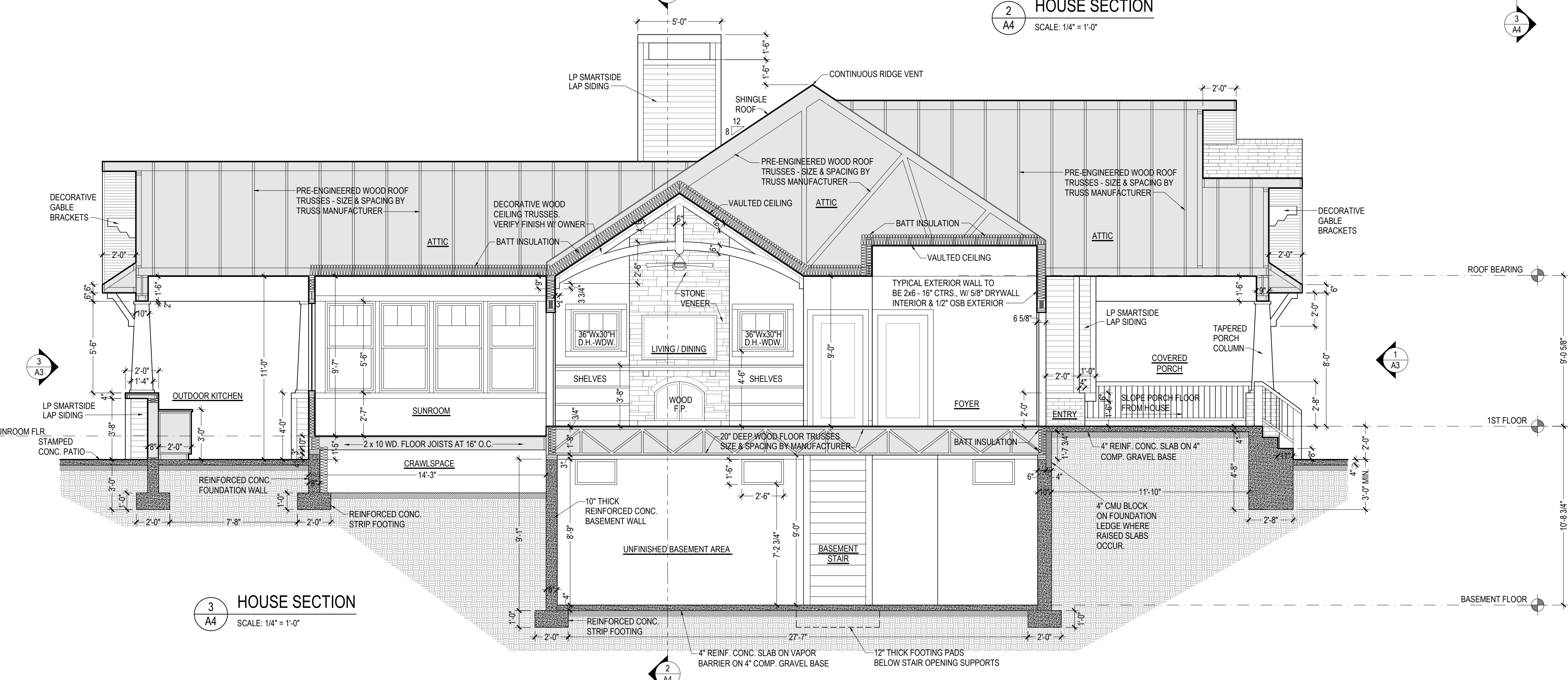
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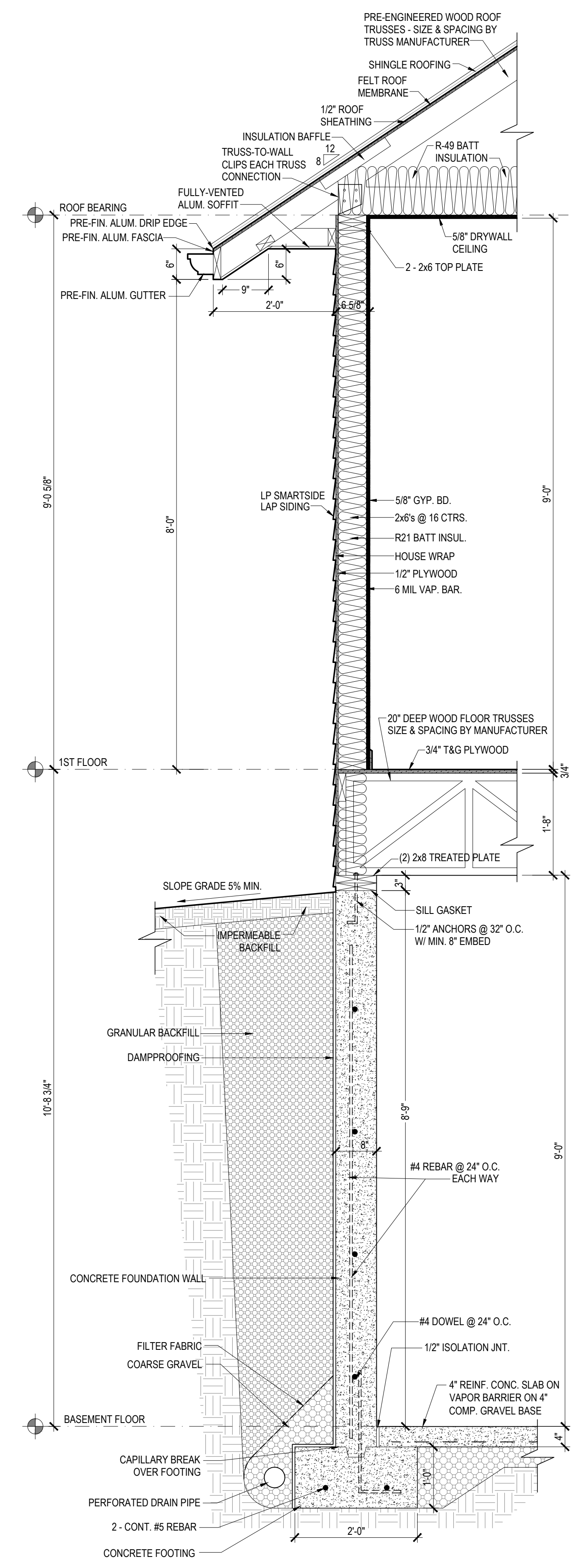
1 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



2 HOUSE SECTION  
SCALE: 1/4" = 1'-0"



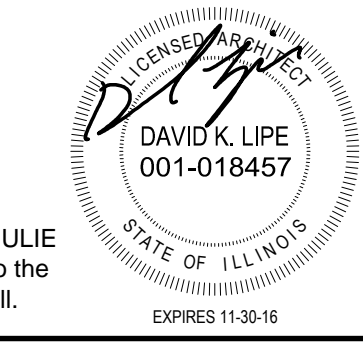
3 HOUSE SECTION  
SCALE: 1/4" = 1'-0"



4 WALL SECTION (TYPICAL)  
SCALE: 3/4" = 1'-0"

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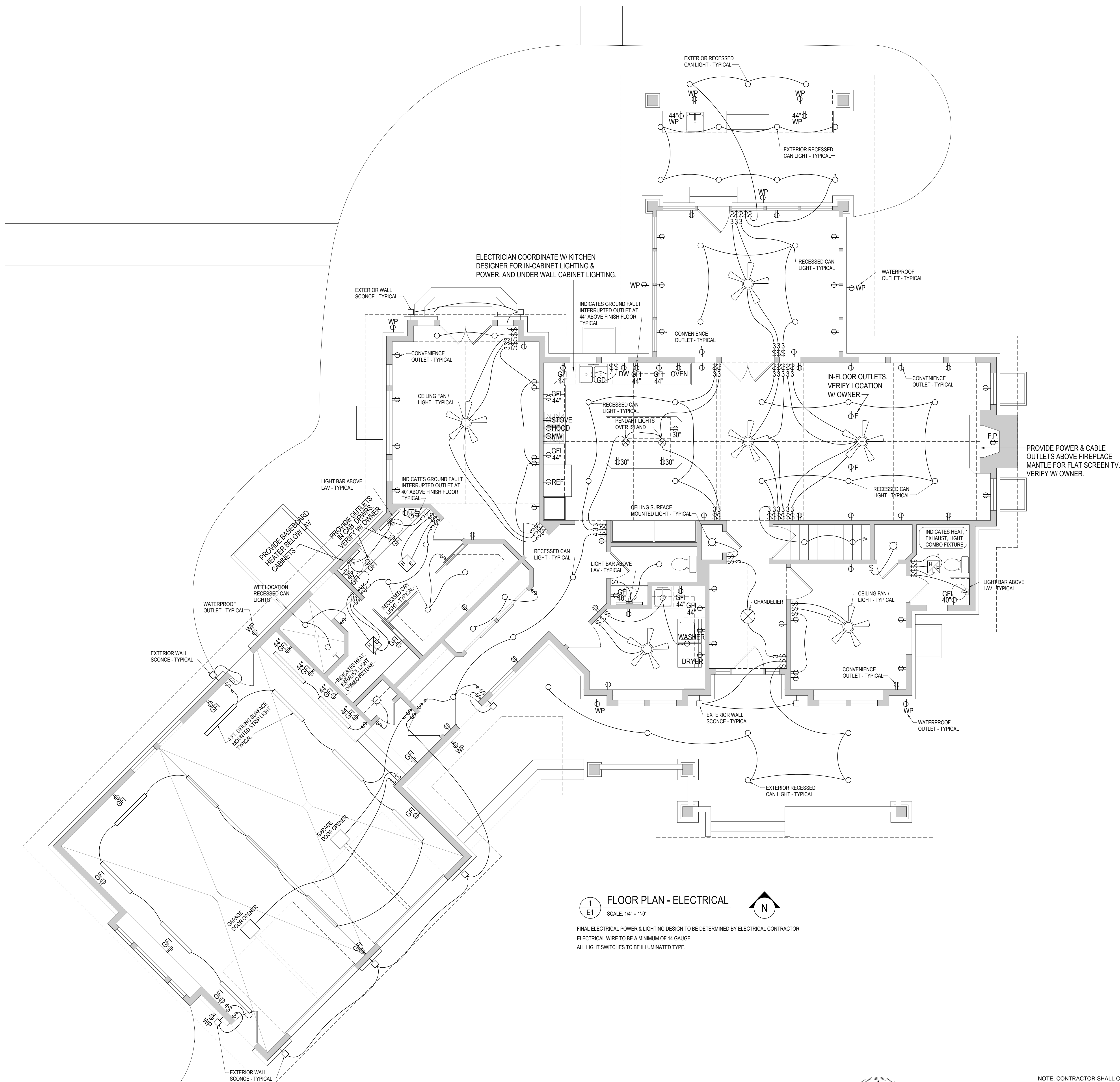
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EXTERIOR ELEVATION & HOUSE SECTIONS  
PROJ. NO.: 1601  
REVISD 02-20-17  
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**Wayne & Vickie Halfacre - New House**  
252 Duffs Lane, Hillsboro, IL 62049

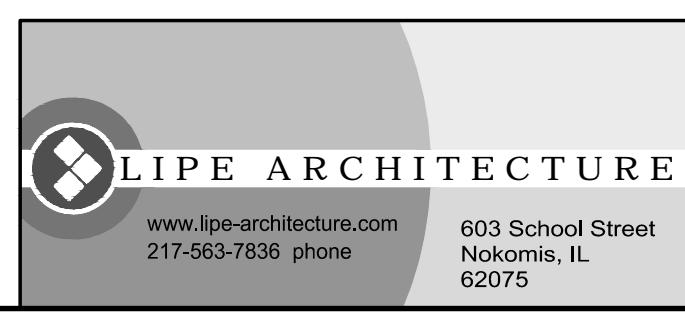
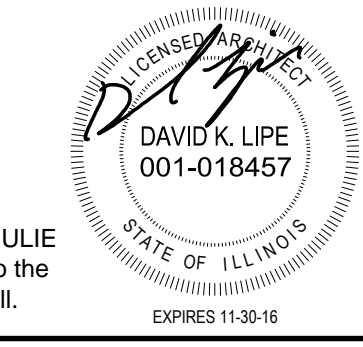
**A4**

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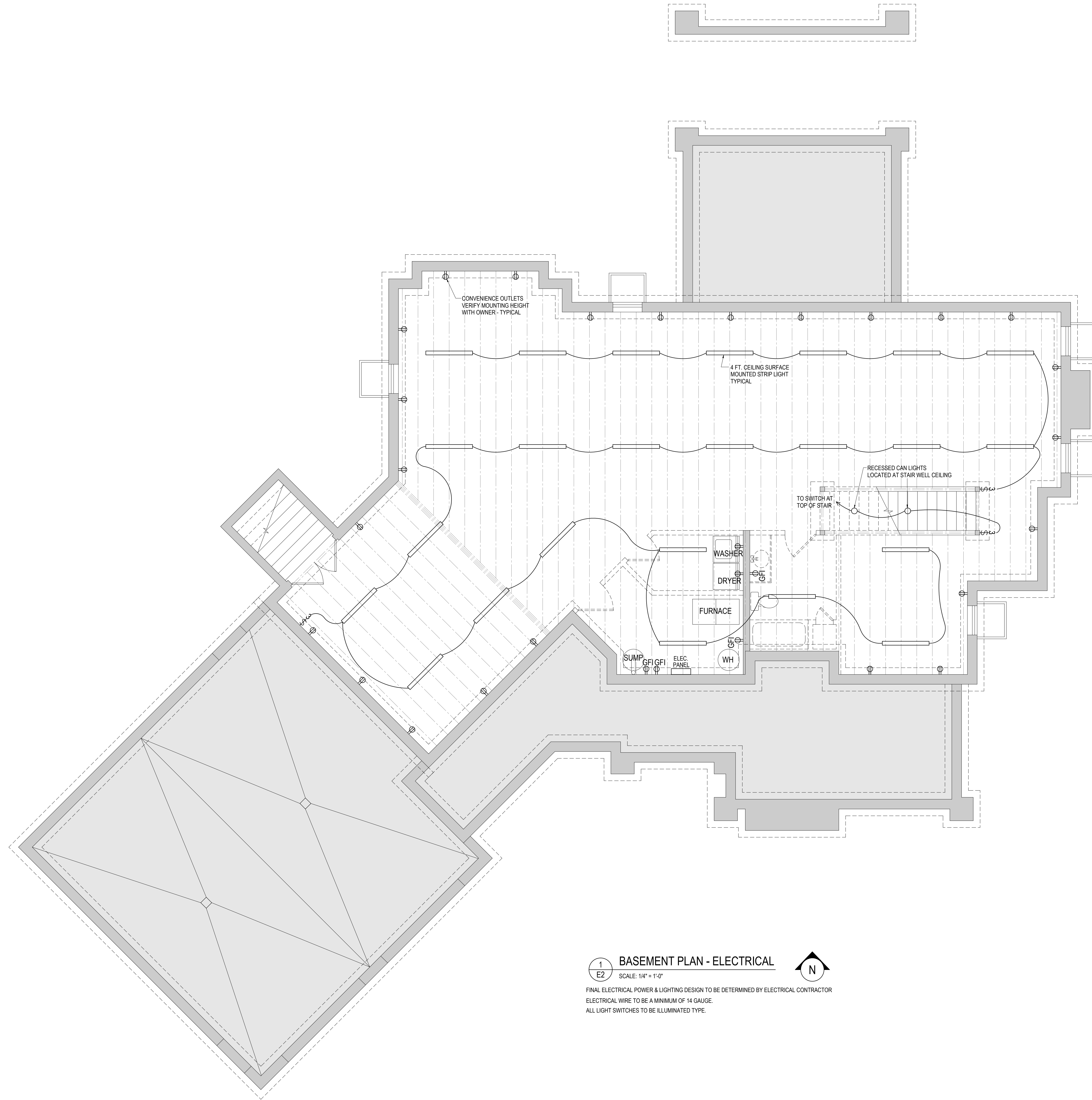
1 FLOOR PLAN - ELECTRICAL  
 E1 SCALE: 1/4" = 1'-0"  
 FINAL ELECTRICAL POWER & LIGHTING DESIGN TO BE DETERMINED BY ELECTRICAL CONTRACTOR  
 ELECTRICAL WIRE TO BE A MINIMUM OF 14 GAUGE.  
 ALL LIGHT SWITCHES TO BE ILLUMINATED TYPE.

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.



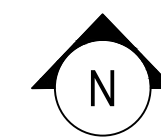
FLOOR PLAN - ELECTRICAL	PROJ. NO.: 1601
Wayne & Vickie Halfacre - New House	DATE: 03-22-16
252 Duffs Lane, Hillsboro, IL 62049	E1

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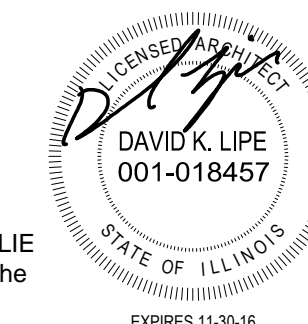


**1**  
**E2**

**BASEMENT PLAN - ELECTRICAL**  
 SCALE: 1/4" = 1'-0"  
 FINAL ELECTRICAL POWER & LIGHTING DESIGN TO BE DETERMINED BY ELECTRICAL CONTRACTOR  
 ELECTRICAL WIRE TO BE A MINIMUM OF 14 GAUGE.  
 ALL LIGHT SWITCHES TO BE ILLUMINATED TYPE.



NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.



BASEMENT PLAN - ELECTRICAL Wayne & Vickie Halfacre - New House 252 Duffs Lane, Hillsboro, IL 62049	PROJ. NO.: 1601 DATE: 03-22-16 <b>E2</b>
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EPRES 11-30-16